

HISTORIC CROSSROADS DESIGN GUIDE



PREPARED BY:

TASK FORCE ON ECONOMIC DEVELOPMENT ON NOVEMBER 19, 2002

ADOPTED BY THE COMMON COUNCIL ON FEBRUARY 25, 2003

**ADOPTED BY THE PLAN COMMISSION ON FEBRUARY 4, 2003 AND AMENDED
ON JANUARY 16, 2007**

ACKNOWLEDGEMENTS

Honorable Mayor John R. Johnson

Common Council

Council President Nancy Salentine, District 4
Alderman Tracy Snead, District 1
Alderman Chris Buckmaster, District 2
Alderman Neil Borgman, District 3
Alderman Bob Melcher, District 5
Alderman Tina Schaefer, District 6
Alderman Eileen Madden, District 7

Plan Commission

Mayor John R. Johnson
Alderman Chris Buckmaster
Mr. Jerald Hulbert
Mr. Michael Michalski
Ms. Neome Schaumberg
Mr. Russ Stinebaugh
Mr. James Burke

Planning Department Staff

Jeff Muenkel AICP, Planning Director
Adam Trzebiatowski, Associate Planner
Tom Zagar, City Forester
John Wisniewski, GIS Coordinator
Sean Meehan, Planning/GIS Intern
Matt Kulinski, Conservation Technician
Kellie Renk, Secretary

**CITY OF MUSKEGO
HISTORIC CROSSROADS DESIGN GUIDE**

RESOLUTION #P.C. 007-2007

APPROVAL OF AMENDMENTS TO ALL CITY OF MUSKEGO DESIGN GUIDES TO BRING THEM INTO COMPLIANCE WITH THE CHAPTER 17 ZONING CODE REVISIONS AND CURRENT CITY POLICIES

WHEREAS, The City of Muskego maintains seven (7) Design Guides in order to serve as a reference in guiding and reviewing future development for citizens, developers, and commissioners, and

WHEREAS, There is a General Design Guide that applies to the entire City along with six (6) other area specific Design Guides that are unique to the character of each said area, and

WHEREAS, The six (6) area specific Design Guides are as follows: Business Park, Downtown, Durham Hill, Historic Crossroads, Moorland Corridor South, and Racine Avenue Gateway, and

WHEREAS, Said guides sets the minimum design standard for building, site, and operation plans that are to be submitted to the City for more complete and accurate Planning Staff and Plan Commission review, and

WHEREAS, Said guides are prepared under the authority of Section 62.23 of the Wisconsin State Statutes and Chapter 17 of the City of Muskego Zoning Ordinance being deemed necessary to promote the public health, safety, morals and welfare of the City of Muskego, and

WHEREAS, The guides require various updates due to policy changes and/or references to the new zoning code as per PC Resolution #004-2007.

THEREFORE BE IT RESOLVED, That the Plan Commission recommends approval of the proposed amendments to the seven (7) City of Muskego Design Guides.

Plan Commission
City of Muskego

Adopted: January 16, 2007

Defeated:

Deferred:

Introduced: January 16, 2007

ATTEST: Kellie Renk, Recording Secretary

**CITY OF MUSKEGO
HISTORIC CROSSROADS DESIGN GUIDE**

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HISTORIC CROSSROADS DESIGN GUIDE

CITY OF MUSKEGO

SECTION 1 PREAMBLE

1.01 AUTHORITY

The Historic Crossroads Design Guide (Guide) is prepared by the Plan Commission of the City of Muskego, and for transmittal and adoption to the Common Council of the City of Muskego, pursuant to Section 62.23 and Section 66.1001 of the Wisconsin Statutes and the City of Muskego Zoning Ordinance, and The City of Muskego Comprehensive Plan, deeming it necessary to promote the public health, safety, morals and welfare.

1.02 PURPOSE

Major street reconstruction activities have occurred along the Janesville Road (County Trunk Highway "L") corridor from College Avenue (CTH HH) to Moorland Road (CTH O). The Waukesha County Department of Transportation has widened the roadway from two lanes to four lanes, with dedicated turning lanes. This reconstruction project has resulted in a substantial change to the local aesthetics, and has resulted in the relocation or demolition of numerous buildings in the Tess Corners area.

The guide is also setup for applying standards in the Pioneer Historic Area located along Pioneer Drive from Janesville Road to Lions Park Drive. This area is characterized by aging historic buildings. The area was once setup as a classic downtown area with retail and residential structures closely located to the right-of-way squarely facing the street.

The general purpose of this Guide is to aide the Planning Staff and Plan Commission in the planning, design and re-design of the built environment of the Tess Corners and Pioneer Historic area so as to enhance and unify its visual character while avoiding monotony and repetition.

These standards will also assist in fostering sound, functional, attractive and quality development. The provisions hereof shall be liberally construed in favor of the City and shall be considered as minimum requirements for the historic areas.

1.03 SCOPE

It is not the intent of this Guide to repeal, abrogate, annul, impair or interfere with any existing easements, covenants, or agreements between parties or with the rules, regulations, or permits previously adopted or issued pursuant to laws: provided, however, that where this Guide in any way imposes greater standards than are required by other rules, regulations or permits or by easements, covenants or agreements, the provisions of this Guide shall be the guide.

1.04 CITATION OF GUIDE

This Guide shall be cited as follows, e.g.: Historic Crossroads Design Guide, Section 1.04.

SECTION 2 GEOGRAPHIC AREA

2.01 TESS CORNERS

A. Area. The Tess Corners Area shall be generally defined as those lands located along Janesville Road (CTH L) from Durham Drive to College Avenue (CTH HH); including those lands along Tess Corners Drive from Gaulke Drive to College Avenue. A map of the area can be found in Appendix I.

B. Intent. This area entails two distinct development characteristics, and are denoted herein as East and West districts.

East. The area generally east of Tess Corners Drive is identified as offering a wide range of commercial, industrial, and institutional activities and services. It is the goal of this document to maintain the viability and improve and unify the visual aspects of the Janesville Road corridor.

West. The area generally west of Tess Corners Drive is intended to encourage mixed-use, compact development that facilitates the efficient use of services. The West area diversifies and integrates land uses within close proximity to each other, and it should provide for the daily retail and customer service needs of the Tess Corners residents.

2.02 PIONEER DRIVE

A. Area. The Pioneer Historic Area shall be generally defined as those lands located along Pioneer Drive from Janesville Road (CTH L) to Lions Park Drive. A map of the area can be found in Appendix I. The Pioneer Drive area follows the same guidelines as the Tess Corners **West** district.

B. Intent. The area is intended to encourage mixed-use, compact development that facilitates the efficient use of services. The area diversifies and integrates land uses within close proximity to each other, and it should provide for the daily retail and customer service needs of the Pioneer Drive residents. It is the goal of this document to maintain the viability and improve and unify the visual aspects of the Pioneer Drive corridor.

SECTION 3 DESIGN STANDARDS

3.01 GENERAL REQUIREMENTS – TESS CORNERS EAST

- A. **Applicability.** To advance the ideals of this Guide, the following design standards are implemented in the defined Tess Corners East area (See Appendix I). These standards shall apply to all development and re-development of commercial, industrial, two-family, and multi-family properties within the defined boundaries.
- B. **Buildings.** The following shall apply to all applicable buildings:
1. Buildings shall be constructed to be harmonious with their natural and built surroundings while avoiding repetition and monotony.
 2. The exterior treatments of all buildings and structures shall incorporate elements found in the Dutch Colonial, Colonial Revival, or Bungalow styles of architecture (Fig. 1).



Figure 1: Samples of Appropriate Architecture with Dutch Colonial or Colonial Revival and Craftsman Influences

3. Materials such as brick and decorative masonry and/or natural materials (i.e. lap board, cedar siding, stone work) shall be primary construction material, and shall be subject to Plan Commission review and approval on a case-by-case basis. Under no circumstances shall exterior insulation and finish system (E.I.F.S.) be an allowed building material within this District.
4. The coloring of all brick, decorative masonry, or stone shall be expressed as integral to the product and not painted on the surface of said product.
5. A quality design that maximizes the value of the proposed project, while protecting or enhancing neighboring values is required. Four-sided architecture, which utilizes similar building materials and design for all sides of a proposed structure, is required.
6. Pitched roofs such as hip, gambrel, gable, etc.; utilizing cedar, architectural asphalt or dimensional shingles shall be required (Fig. 2). The use of raised steel seamed panels, or other similar materials is generally discouraged and is subject to review and approval of the Plan Commission. In the case of commercial developments, they shall provide elevations that reflect these standards through façade or parapet wall presentations.



Figure 2: Appropriate Rooflines and Materials

7. Roof top mechanical installations shall be appropriately screened so as to block the view from adjacent streets and properties. Such screening shall match or compliment the overall theme of the building. All screening is subject to review and approval by the Plan Commission.
- C. **Colors** utilized in the project design shall be non-florescent. Earth tones such as gray, green, brown, burgundy, and tan are encouraged. However, all proposed color schemes shall be reviewed on their individual merit based upon building design, building materials, longevity of the color choice(s), statement in relation to overall theme, character and color of adjacent structures, mass/size of the proposed and adjacent structure(s), and unity with existing structures on the project site.
- D. **Parking areas** shall be designed to avoid a "sea of asphalt" syndrome. The parking field in which the main activities of parking and travel are conducted shall have a landscape island with a minimum size of 200 square feet (10' x 20') at the minimum rate of one (1) island for every ten (10) parking spaces (Fig. 3). The perimeter of the parking field shall provide for a lawn area in which trees and shrubs will be planted so as to allow ample snow storage capacity yet avoid damage to plantings from same. Perimeter plantings shall be at the rate of one tree and/or shrubbery grouping for every 50 lineal feet. The Plan Commission shall review the parking area landscaping plan for species placement, quantity, and sizes to determine appropriateness.



Figure 3: Appropriate Parking Lot Island Placement

E. **Landscaping** shall be in accordance with the following:

1. A fifteen-foot (15') landscape buffer shall be required abutting the Janesville Road right-of-way. The Plan Commission shall review the placement, numbers and sizes to determine appropriateness.
2. Landscaping for the development site shall be designed to complement the built and natural environment of the subject project and adjacent sites. Existing tree lines should be preserved. If removal of existing tree lines is required due to its undesirable nature, new plantings that result in no less of a screening effect shall be required when adjacent to residential uses.



Figure 4: Appropriate Perimeter Landscaping

3. In addition to other requirements as adopted by the City of Muskego, minimum specifications for landscaping at time of planting are as follows: 1.5 inch to 2.5 inch minimum diameter measured six (6) inches above grade for deciduous trees; six (6) foot minimum height for coniferous trees; 24 inch minimum height for shrubs; all yard areas shall be sodded.
4. The installation of sod shall be required for all yard areas abutting a public right-of-way.
5. Street trees shall be required to be planted at the rate of one tree for every 50 lineal feet abutting a public right-of-way. All street tree species selections are to be from the approved list of "large-species" by the City Forester.
6. In addition to the guidelines expressed for parking areas in Section 3.01.D. above, plantings shall be required around the foundation of all primary structures. The Plan Commission shall review the placement, quantity, and species to determine appropriateness.
7. Native plant species are recommended. Plants known to be invasive shall not be used. All species selections are to be approved by the City Forester.
8. Where a proposed commercial or multiple family use of land abuts single family use or two family use of land, the petitioner may be required to install appropriate screening as determined by the Plan Commission. Such screening shall be fencing constructed of cedar and shall be of a dog-eared board-on-board pattern, or the dense planting of landscape materials.

F. **Signage** shall be in accordance with the following:

1. Signage shall be designed in unity with the building design through the use of the same or similar materials and colors. Ground or monument signs shall be strongly encouraged; pylon signs are prohibited. Neon tube accent lighting is prohibited.
2. The base of all signs shall be landscaped with plantings. The landscaped area shall at a minimum equal the square footage of the sign face (per the City of Muskego Zoning Ordinance).



Figure 5: Appropriate Landscaping for Monument Signs

3. All other aspects of signage shall be in keeping with the requirements of the Sign Ordinance of the City of Muskego.

G. **Lighting**

1. All off-street lighting shall be down-cast, cutoff fixtures. The total height of fixtures, measured from grade to the highest point of the pole and/or lamp, shall be 15 feet. The base shall be no greater than 6" above grade. All bulbs or lamps shall be high-pressure sodium vapor.
2. The Plan Commission may grant exceptions to the height of lighting fixtures, provided that the total fixture height is equal or less than the height of adjacent building eaves. Lighting shall be positioned so as not to cause glare on adjacent properties and streets. A maximum of 0.5-foot candles of light trespass at the property line is permitted.
3. All lighting within public rights-of-way shall utilize fixtures and poles as approved by the Public Work Committee.

H. **Vehicular Cross access** to and between neighboring properties shall be implemented wherever possible. The goal in this requirement is to remove as much incidental, site-to-site traffic from public thoroughfares to reduce the possibility of traffic conflicts and accidents. Cross-access drives may be either the interconnection of parking lots or the construction of a separate drive. In either case, the minimum drive isle width should be no less than 24 feet.

I. **Pedestrian access** is critical to overall site design, as the Tess Corners represents a significant community crossroads. The interconnection of recreation trails throughout the area is strongly encouraged, including connections to adjacent developments.



*Figure 6: Appropriate Pedestrian Accommodations Between Commercial Sites.
Note the separation from vehicular movements*

- J. **Corporate identity** shall not be prohibited. The Plan Commission shall not recognize same as the driving factor in the design of the facility. Corporate identity shall be apparent yet reserved in its display. The driving factor in the design of any facility shall be the criteria as expressed in this document.

3.02 GENERAL REQUIREMENTS – TESS CORNERS WEST & PIONEER DRIVE

- A. **Applicability.** To advance the ideals of this Guide, the following design standards are implemented in the defined Tess Corners West area and Pioneer Drive area (See Appendix I). These standards shall apply to all development and re-development of commercial, two-family, and multi-family properties within the defined boundaries.
- B. **Buildings.** Buildings shall be constructed to be harmonious with their natural and built surroundings while avoiding repetition and monotony. The exterior treatments of all buildings and structures shall be designed in a Bungalow (Fig. 7) or Colonial Revival (Fig. 9) style of architecture.
1. **Bungalows.** The following shall apply to all applicable bungalow structures:



Figure 7: Samples of Appropriate Architecture with Bungalow Influences

- a. Materials such as brick and decorative masonry and/or natural materials (i.e. lap board, cedar siding, stone work) shall be primary construction material, and shall be subject to Plan Commission review and approval on a case-by-case basis. Under no circumstances shall exterior insulation and finish system (E.I.F.S.) be an allowed building material within this District.
- b. The coloring of all brick, decorative masonry, or stone shall be expressed as integral to the product and not painted on the surface of said product.
- c. A quality design that maximizes the value of the proposed project, while protecting or enhancing neighboring values is required. Four-sided architecture, which utilizes similar building materials and design for all sides of a proposed structure, is required.
- d. Low-pitched gable or jerkin-head (clipped gable) roof, wide roof overhangs and gable or jerkin-head roofed front porch utilizing cedar or architectural asphalt shingles shall be required.

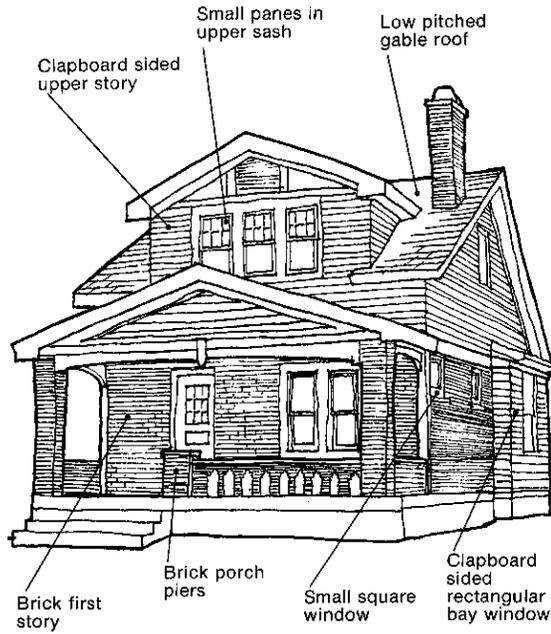


Figure 8: Appropriate Bungalow Rooflines and Materials

- e. All mechanical installations shall be appropriately screened so as to block the view from adjacent streets and properties. Such screening shall match or compliment the overall theme of the building, and may include natural landscape materials.
2. **Colonial Revival.** The following shall apply to all applicable colonial revival structures:



Figure 9: Samples of Appropriate Architecture with Colonial Revival Influences



Figure 10: Samples of Appropriate Architecture with Colonial Revival with Craftsman Influences

- a. Materials such as brick and decorative masonry and/or natural materials (i.e. lap board, cedar siding, stone work) shall be primary construction material, and shall be subject to Plan Commission review and approval on a case-by-case basis. Under no circumstances shall exterior insulation and finish system (E.I.F.S.) be an allowed building material within this District.

Building details may include swan's neck pediments (a type of pediment with curved sides, used as a decorative element over windows and doors), pilasters, Palladian windows (a group of three windows in which the middle one is wider, taller and usually arched), columned porticos, dormer windows, classical entablatures, and doors with sidelights and transoms.

- b. The coloring of all brick, decorative masonry, or stone shall be expressed as integral to the product and not painted on the surface of said product.
- c. A quality design that maximizes the value of the proposed project, while protecting or enhancing neighboring values is required. Four-sided architecture, which utilizes similar building materials and design for all sides of a proposed structure, is required.
- d. A gable, hip or gambrel (a roof with two slopes of different pitches on either side of the ridge) roof, utilizing cedar or architectural asphalt shingles shall be required.

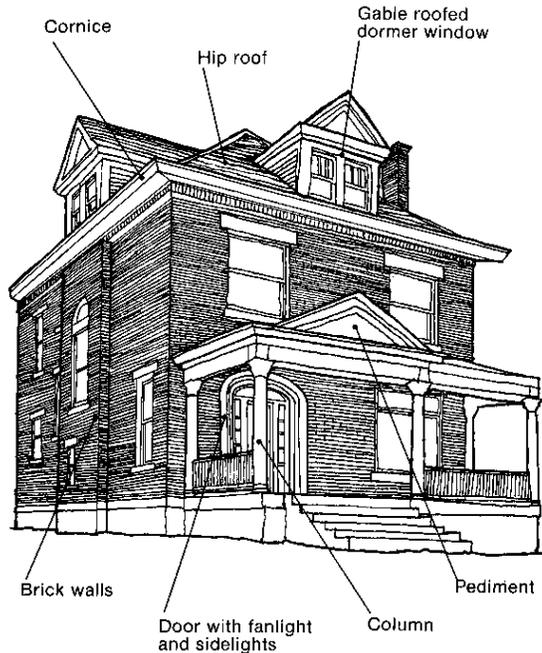


Figure 11: Appropriate Colonial Revival Rooflines and Materials

- e. All mechanical installations shall be appropriately screened so as to block the view from adjacent streets and properties. Such screening shall match or compliment the overall theme of the building, and may include natural landscape materials.
- C. Colors** utilized in the project design shall be non-florescent. Typical paint colors are brown, tan, terra cotta, white, gray, and muted greens. Earth tones are encouraged. However, all proposed color schemes shall be reviewed on their individual merit based upon building design, building materials, longevity of the color choice(s) (fad/non-fad), statement in relation to overall theme, character and color of adjacent structures, mass/size of the proposed and adjacent structure(s), and unity with existing structures on the project site.
- D. Parking areas** shall be designed to avoid a "sea of asphalt" syndrome. The parking field in which the main activities of parking and travel are conducted shall have a landscape island with a minimum size of 200 square feet (10' x 20') at the minimum rate of one (1) island for every ten (10) parking spaces. The perimeter of the parking field shall provide for a lawn area in which trees and shrubs will be planted so as to allow ample snow storage capacity yet avoid damage to plantings from same. Perimeter plantings shall be at the rate of one tree and/or shrubbery grouping for every 25 lineal feet. A landscaping plan for the parking area shall be required as outlined in F. below.
- E. Landscaping** shall be in accordance with the following:
1. A landscape plan shall be provided as a component of the Building Site and Operation Plan for each development site. The Plan Commission shall review the placement, species, and quantities, to determine appropriateness.
 2. Landscaping for the development site shall be designed to compliment the built and natural environment of the subject project and adjacent sites. Existing tree lines should be preserved. If removal of existing tree lines is required due to its undesirable nature, new plantings that result in no less of a screening effect shall be required when adjacent to residential uses.

3. In addition to other requirements as adopted by the City of Muskego, minimum specifications for landscaping at time of planting are as follows: 1.5 inch to 2.5 inch minimum diameter measured six (6) inches above grade for deciduous trees; six (6) foot minimum height for coniferous trees; 24 inch minimum height for shrubs. The installation of sod shall be required for all yard areas abutting a public right-of-way.
4. Street trees shall be required to be planted at the rate of one tree for every 50 lineal feet abutting a public right-of-way. All street tree species selections are to be approved by the City Forester.
5. In addition to the guidelines expressed for parking areas in Section 3.02.D. above, plantings shall be required around the foundation of all primary structures. The Plan Commission shall review the placement, quantity, and species to determine appropriateness.
6. Native plant species are recommended. Plants known to be invasive shall not be used. All species selections are to be approved by the City Forester.
7. Where a proposed commercial or multiple family use of land abuts single family use or two family use of land, the petitioner may be required to install appropriate screening as determined by the Plan Commission. Such screening shall be fencing constructed of cedar and shall be of a dog-eared board-on-board pattern, or the dense planting of landscape materials.

F. Signage shall be in accordance with the following:

1. Signage shall be designed in unity with the building design through the use of the same or similar materials and colors. The use of wall and hanging building signs are strongly encouraged. While ground or monument signs are not specifically prohibited, their use is strongly discouraged. All signs are subject to the review and approval of the Plan Commission. Pylon signs are prohibited. Neon tube accent lighting is prohibited.

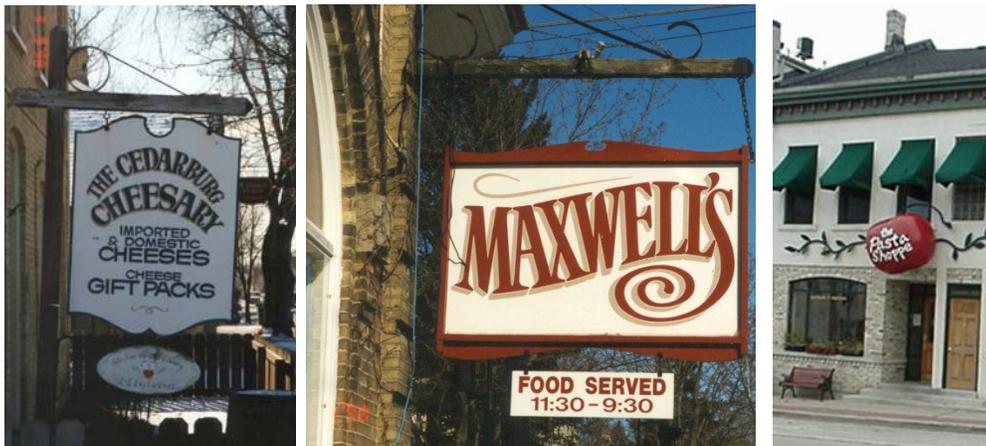


Figure 12: Appropriate Signs in the Tess Corners West Area

2. The base of all monument signs shall be landscaped with plantings. The landscaped area shall at a minimum equal the square footage of the sign face (per the City of Muskego Zoning Ordinance).
3. All other aspects of signage shall be in keeping with the requirements of the Sign Ordinance of the City of Muskego.

G. Lighting

1. All off-street lighting shall be down-cast type fixtures (Fig. 13 and Fig. 14). The total height of fixtures, measured from grade to the highest point of the pole and/or lamp, shall be 15 feet. The base shall be no greater than 6" above grade. All bulbs or lamps shall be high-pressure sodium vapor.
2. The Plan Commission may grant exceptions to the height of lighting fixtures, provided that the total fixture height is equal or less than the height of adjacent building eaves. Lighting shall be positioned so as not to cause glare on adjacent properties and streets. A maximum of 0.5-foot candles of light trespass at the property line is permitted.
3. All lighting within public rights-of-way shall utilize fixtures and poles as approved by the Public Works Committee.



Figure 13: Appropriate Site Lighting for the Tess Corners West Area, Including Base



Figure 14: Appropriate Wall Lighting for the Tess Corners West Area

- H. Vehicular Cross access** to and between neighboring commercial properties is a desired site design element by the Plan Commission, and shall be implemented wherever possible. However, the Plan Commission recognizes that parcels in the Tess Corners West area are typically smaller in size and the physical implementation of cross-access may be impractical.

- I. **Pedestrian access** is critical to overall site design, as the Tess Corners West area represents a significant community crossroads. The goal of this requirement is to remove as much incidental, site-to-site traffic from public thoroughfares to reduce the possibility of traffic conflicts and accidents. The interconnection of recreation trails, sidewalks, and service walks throughout the area is strongly encouraged, including connections to adjacent developments. The Plan Commission shall determine on a case-by-case basis the applicability of this element, and the degree to which a proposal meets the intention of this section.



Figure 15: Appropriate Pedestrian Accommodations Between Commercial Sites

- J. **Corporate identity** shall not be prohibited. However, the Plan Commission shall not recognize same as the driving factor in the design of the facility. Corporate identity shall be apparent yet reserved in its display. The driving factor in the design of any facility shall be the criteria as expressed in this document.

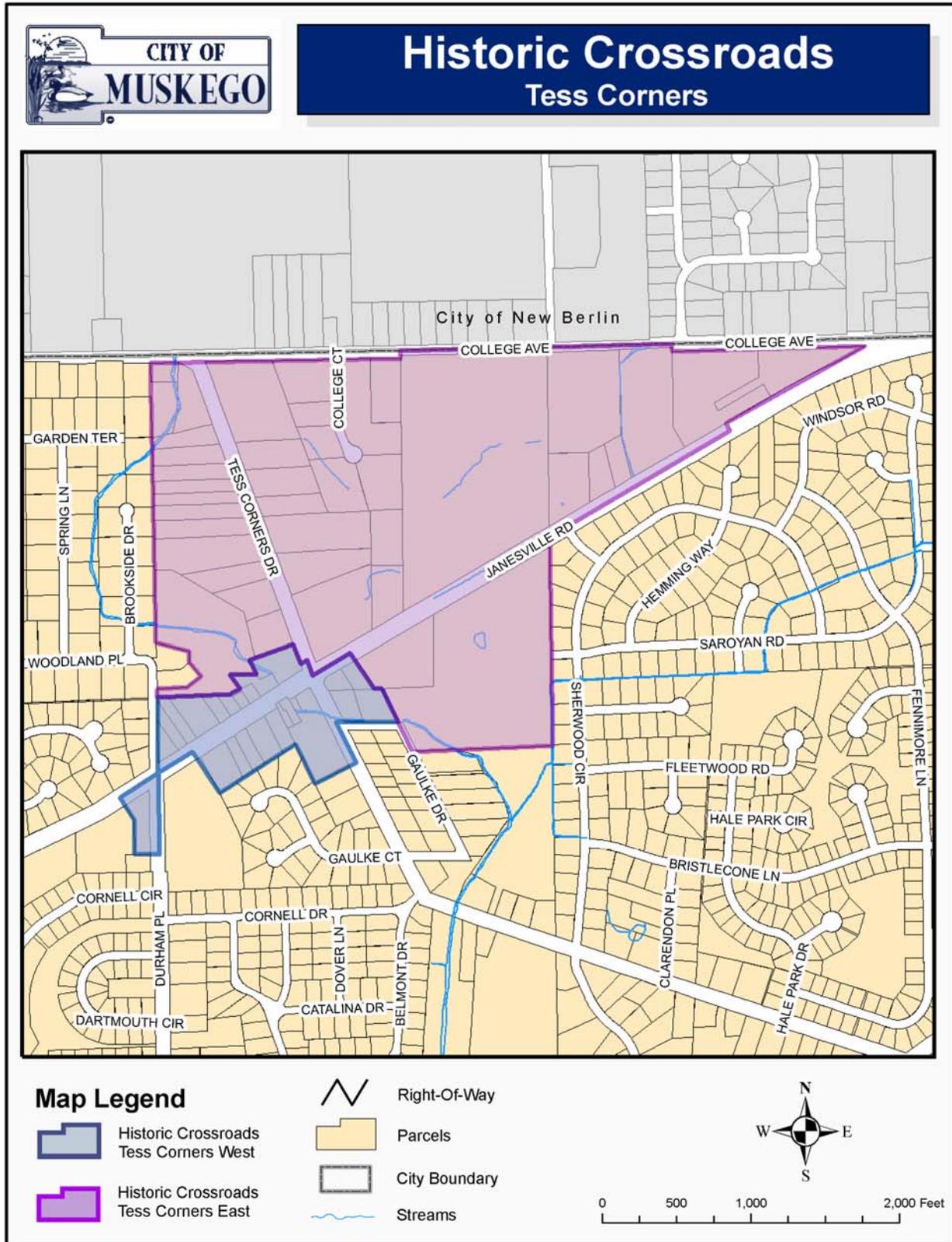
SECTION 4 COMPLIANCE

4.01 IN PERPETUITY

Per the City of Muskego Zoning Ordinance, Compliance in Perpetuity is required in that, "Any Building, Site and Operational Plan granted through the authority of this Section shall be perpetually binding upon the development to the extent that: all buildings and structures shall be maintained in a tasteful, safe and appropriate manner; all landscaping shall be periodically groomed and/or replaced when necessary; all drive, parking and pedestrian areas shall be kept in a safe and passable condition. All repairs and maintenance shall be executed in a timely manner."

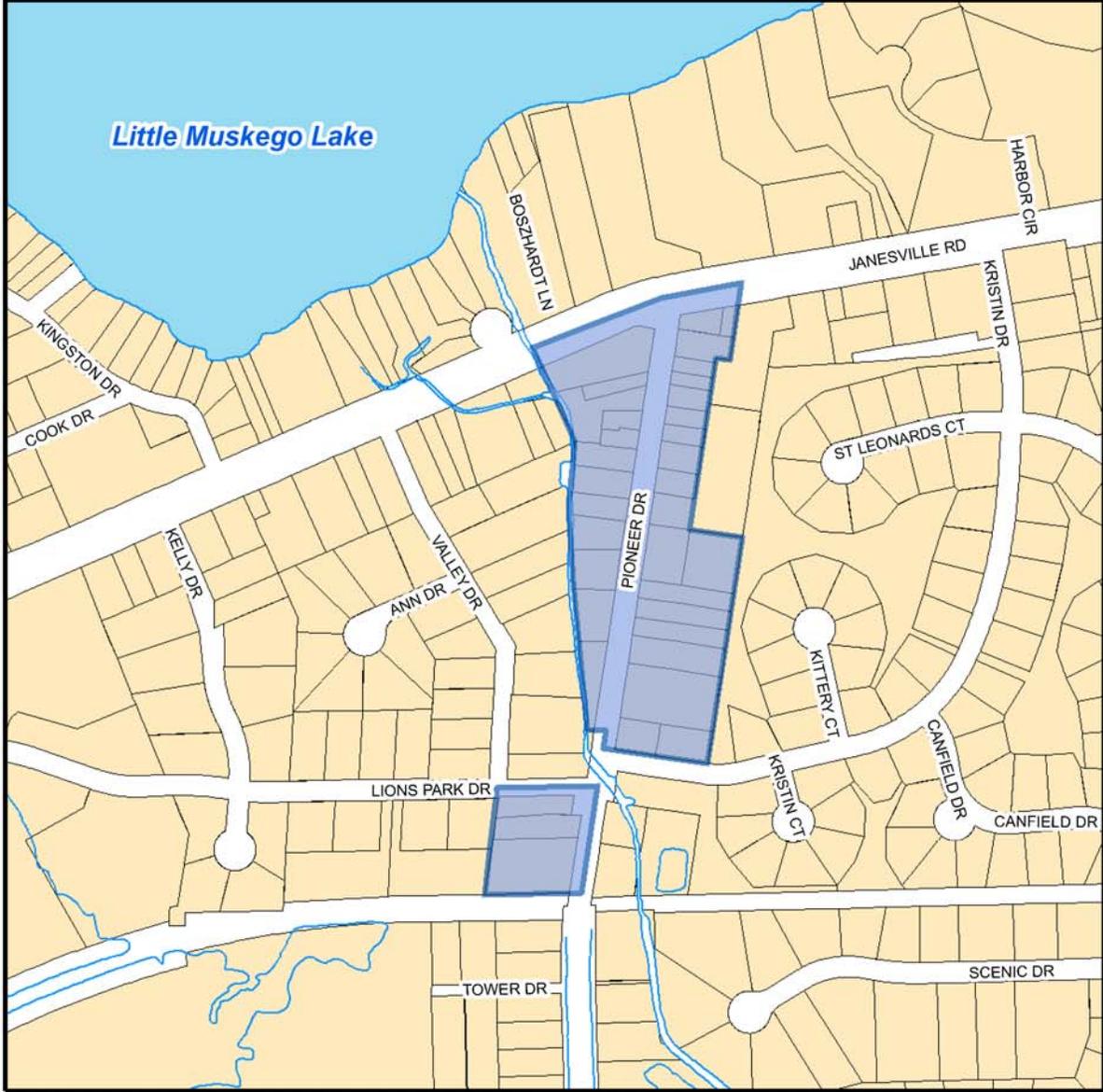
Chapter 35 of the Municipal Code, Property Maintenance Code, shall be enforced in its entirety in conjunction with the provisions of this Design Guide for all commercial, two-family, multi-family, and industrial land uses.

APPENDIX I





Historic Crossroads Pioneer Drive



Map Legend



Historic Crossroads
Pioneer Drive



Parcels



Right-Of-Way



Lakes



Streams

